

Floodplain Management

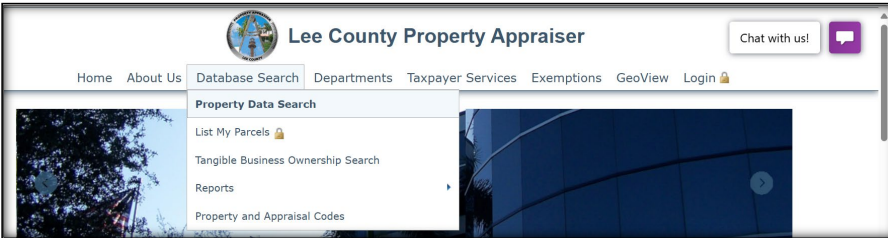
Community Development Department

9220 Bonita Beach Road, Suite 111, Bonita Springs, FL 34135 | (239) 444-6150 | floodinfo@cityofbonitaspringscd.org

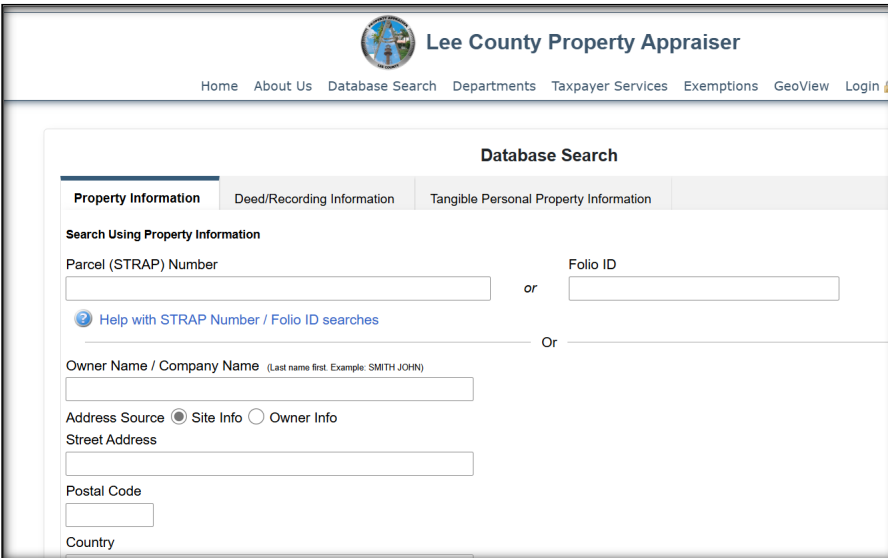


How to locate the valuation of your residential building:

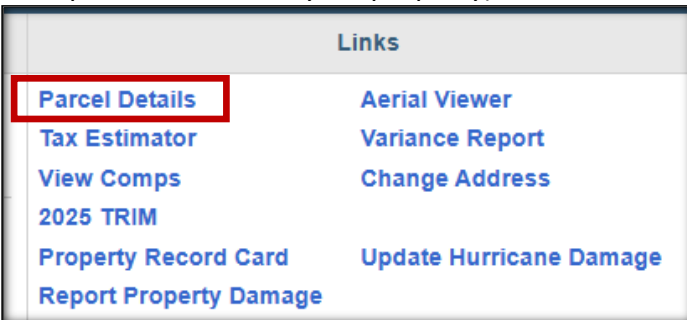
1. Visit the Lee County Property Appraiser website at www.LeePa.org.
2. Click “Database Search” from the top menu and select “Property Data Search”.



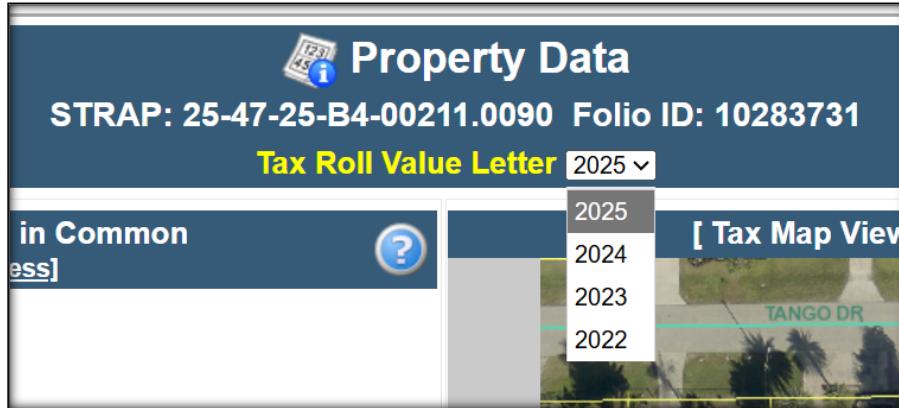
3. You can complete your search by Parcel (Strap) Number, Folio ID, Owner Name or Street Address.



4. When you locate the address select “Parcel details” located at the right side of the screen (this will open the details of your property).



5. At the top center of the page, select the applicable year from the drop-down menu to the right of the Tax Roll Value Letter.
 - For the purposes of Floodplain Management, the building value prior to the proposed improvements or damaging event must be utilized.
 - i. Example: Applications for Hurricane Ian related repairs must utilize the 2022 Letter while Hurricane Helene/Milton related repairs must utilize the 2024 Letter.



6. A new page/screen will appear showing details and breakdowns specific to your building for the selected year.

In the chart below you will find the most recent values from the 2024 ad valorem tax roll. These values represent the Lee County Property Appraiser's determination of Just Value for ad valorem tax purposes.

	JUST VALUE
Total Value	\$353,863
Land Value	\$31,954
Land Extra Features Value	\$7,654
Building Value	\$297,232
Building Extra Features Value	\$17,023

7. The example shown above has a building value of \$297,232.00, this is the valuation of the building used for the purposes of Substantial Damage/Substantial Improvement reviews (aka the 50% rule). The proposed cost of repairs or improvements to the building cannot equal or exceed 50% of the building value reflected in the letter ($\$297,232.00 \div 2 = \$148,616.00$).
8. Should you disagree with the building value from the Lee County Property Appraiser you may provide a private appraisal prepared by a Florida Licensed Appraiser reflecting the actual cash value of the building exclusively (like-kind replacement cost depreciated for age, wear and tear, neglect, and quality of construction). The valuation of land or detached accessory features (such as pools, pool cages, docks, fences, etc.) are excluded.
 - Providing a private appraisal during the permitting application process does not recalculate or affect property tax assessments.
9. Reports are not available for all properties such as commercial buildings, condos or properties blocked from public searches. You may contact the Lee County Property Appraiser at (239) 533-6100 or Community Development staff at (239) 444-6150 for assistance.