

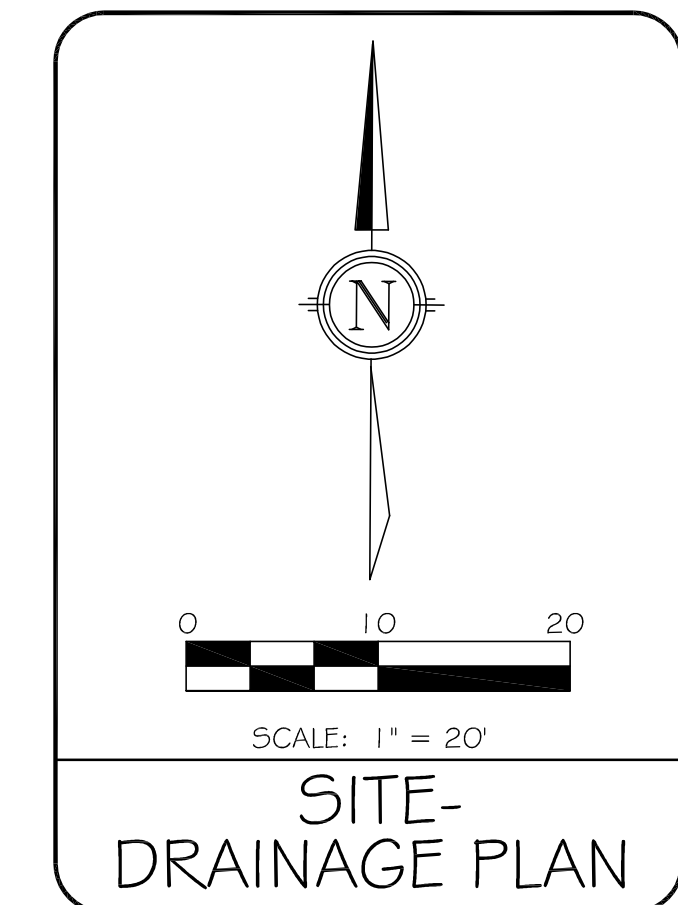
N. 1/2 OF LOT 9
BLOCK 60
EXISTING HOUSE

SITE GRADING DURING CONSTRUCTION ACTIVITIES. THE BUILDING SITE MUST BE GRADED AND MAINTAINED DURING CONSTRUCTION TO:

- PREVENT EROSION OF SOIL ONTO ADJACENT AND ABUTTING PROPERTIES, STREET RIGHTS-OF-WAY/EASEMENTS, WATERBODIES OR IMPROVED DRAINAGE CONVEYANCES
- ENSURE EROSION CONTROL DEVICES ARE BEING MAINTAINED AS OUTLINED IN THE FLORIDA STORMWATER SEDIMENTATION CONTROL INSPECTOR'S MANUAL OR A SIMILAR QUALITY GUIDANCE MANUAL.
- CONTROL SURFACE WATER RUNOFF TO ENSURE THAT NO SURFACE WATER IN EXCESS OF THE PRECONSTRUCTION DISCHARGE FLOWS ONTO DEVELOPED ADJACENT OR ABUTTING PROPERTIES AND WATERBODIES.
- MAINTAIN THE FLOW CAPACITY AND FUNCTION OF EXISTING DRAINAGE CONVEYANCES ON OR ABUTTING THE SITE INCLUDING ADJACENT STREET RIGHTS-OF-WAY/EASEMENTS OR IMPROVED DRAINAGE CONVEYANCES.

FINAL GRADING OF A LOT MUST:

- CONTROL AND DIRECT SURFACE WATER RUNOFF TO ENSURE THAT SURFACE WATER DISCHARGE IS DIRECTED INTO AN EXISTING SURFACE WATER MANAGEMENT SYSTEM OR OTHER OFFSITE DRAINAGE CONVEYANCE; AND
- PRESERVE OR RELOCATE EXISTING DRAINAGE CONVEYANCES NECESSARY TO MAINTAIN PRECONSTRUCTION FLOW CAPACITY AND FUNCTION.
- FINAL SITE GRADING PLAN FEATURES MUST BE MAINTAINED IN PERPETUITY BY THE PROPERTY OWNER. A PROPERTY OWNER MAY NOT ALTER OR MODIFY THE LOT GRADING IN A MANNER THAT WILL PREVENT CONTINUED DRAINAGE OF THE SITE IN ACCORDANCE WITH THE STORM WATER DRAINAGE PLAN IN EFFECT AT THE TIME THE CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION WAS ISSUED.

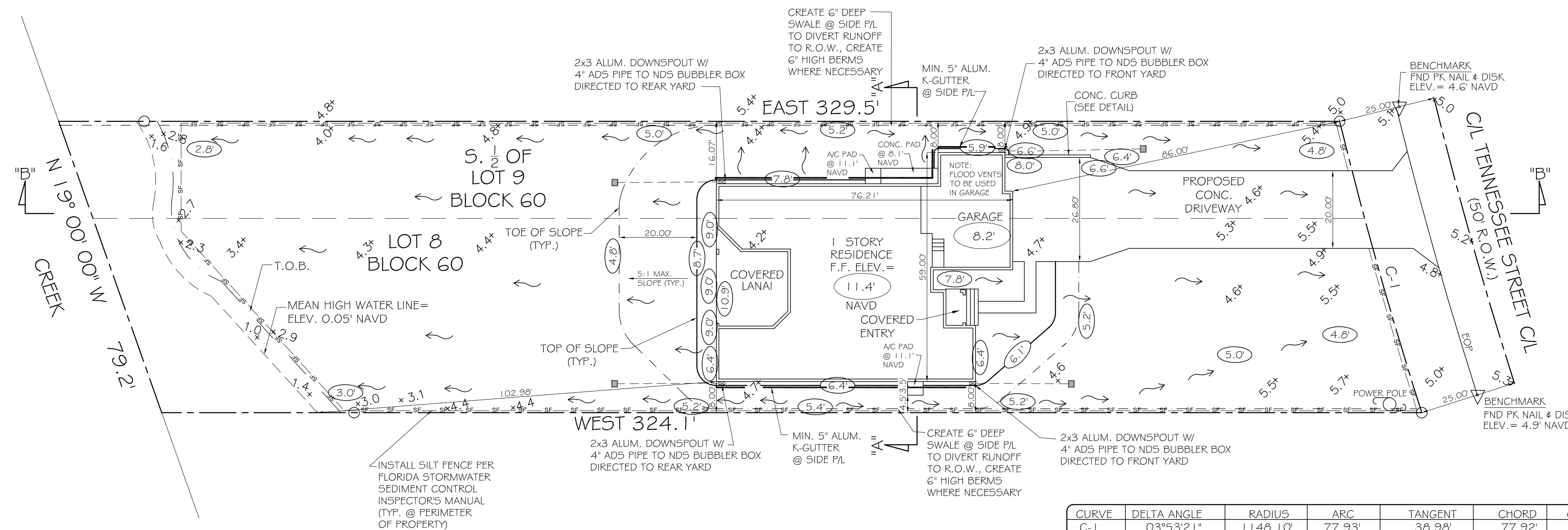


S.T.R.A.P.: 34-47-25-B2-00260.0080

SITE AREA SUMMARY		
IMPERVIOUS AREAS		
DESCRIPTION	AREA-SQ. FEET	PERCENTAGE
BUILDING FOOTPRINT UNDER ROOF	3,665	15.0%
DRIVES, PADS, WALK, POOL, DECK	2,106	8.6%
TOTAL IMPERVIOUS AREA	5,771	23.6%
PERVIOUS AREAS		
GRASS & LANDSCAPE AREAS	18,705	76.4%
TOTAL SITE AREA	24,476	100%

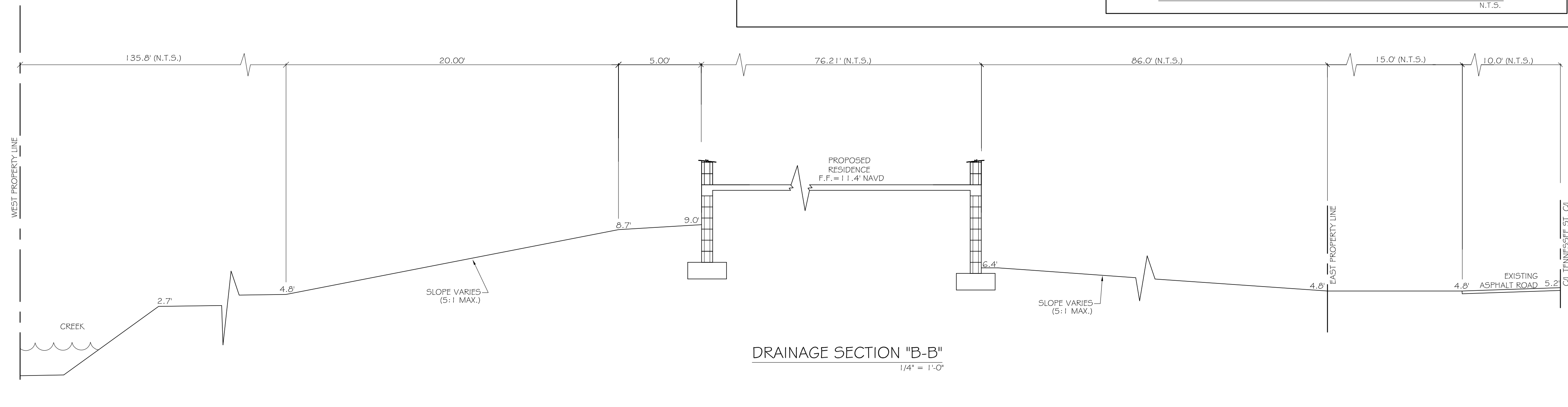
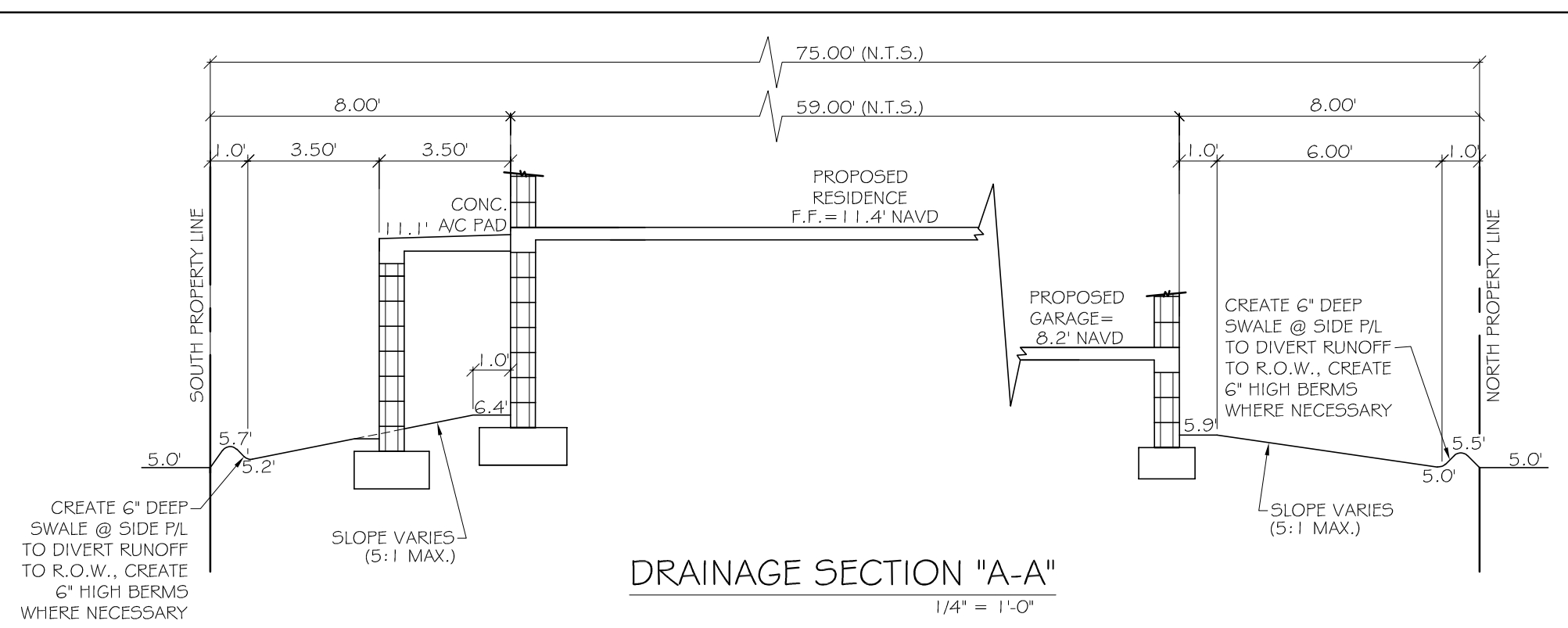
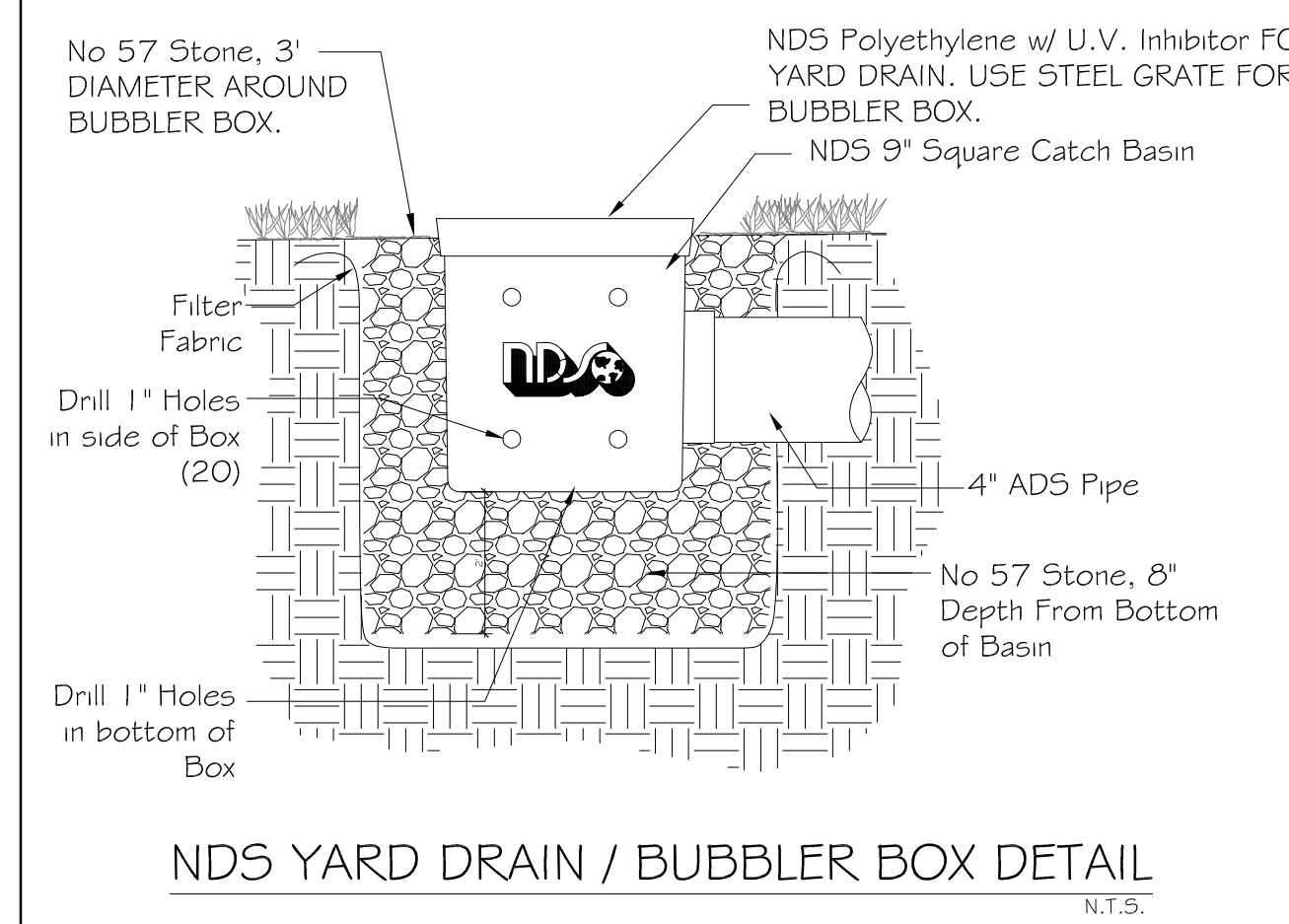
NOTE: SOD TO BE USED FOR GROUND COVER AND DRAINAGE SWALE STABILIZATION.

F.I.R.M. ZONE DATA	
F.I.R.M. ZONE	BASE FLOOD ELEV. (NAVD)
"AE"	10.0



CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C-1	03°53'21"	1148.10'	77.93'	38.98'	77.92'	S 15°43'50"E

LOT 7
BLOCK 60
EXISTING HOUSE



SYMBOL LEGEND			
N&T	= NAIL & TAB	T.L.P.	= TRAFFIC LIGHT POLE
N&D	= NAIL & DISK	W.V.	= WATER VALVE
DH	= DRILL HOLE	C.L.P.	= CONCRETE LIGHT POLE
IR	= IRON ROD	L.P.	= LIGHT POLE
CM	= CONCRETE MONUMENT	SBL	= SOIL BORING LOCATION
UP	= UTILITY POLE	SE	= EXISTING SPOT ELEVATION
GW	= GUY WIRE	FE	= PROPOSED FINISH SPOT ELEVATION
TR	= TRANSFORMER VAULT	P	= OVERHEAD POWER LINES
TEL	= TELEPHONE RISER	W-X	= WOOD OR ALUM FENCE LINE
CATV	= C.A.T.V. RISER	SF	= SILT FENCE
BBTV	= BROADBAND RISER		
MHS	= MAN HOLE SANITARY		
MHS	= MAN HOLE STORM		
STORM	= FIRE HYDRANT		

REVISIONS	BY

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DRAWN
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12-28-21
SCALE
Noted
JOB NO.
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SHEET